

Legal Notice

Town of Branford

**Request for Proposals
Infrastructure Climate Resiliency Consulting Services
Municipal Wastewater Treatment System**

The Town of Branford is soliciting proposals for a climate resiliency engineering evaluation of the Branford Water Pollution Control Facility and sanitary sewer system. Specifications may be obtained from the Finance Department, Branford Town Hall, 1019 Main Street, Branford, CT or on the Town's website at www.branford-ct.gov.

Request for Proposals are to be submitted in a sealed envelope marked **Infrastructure Climate Resiliency Consulting Services** to the Finance Department, Attention, Purchasing Clerk, 1019 Main Street, Branford, CT 06405 by **11:00 a.m. Wednesday, December 21, 2022**. No RFPs will be accepted after that date and time.

The Board of Selectmen or the majority reserves the right to select or reject any and/or all bids containing alternate proposals, to waive any informality in proposals and to reject any and/or all bids or accept such bid as shall, in their judgment, be in the best interest of the Town of Branford.

Tyechia Pettway
Purchasing Clerk

**Request for Proposals
Infrastructure Climate Resiliency Consulting Services
Municipal Wastewater Treatment System
Branford, CT
December 2022**

Intent

The Town of Branford (the Town) is soliciting proposals for a climate resilience engineering evaluation of the Branford Water Pollution Control Facility and sanitary sewer system. The proposal will result in a contract intended to produce a report with measurements, inspection results, survey information, and risk identification of the respective facilities, as well as, conclusions, options and recommendations for further study of the complete system. The initial task is intended to be completed within four months of award. The selected consultant will work with the Owner, Superintendent of the Wastewater Treatment Plant, and members of the Water Pollution Control Authority and the Town's Coastal Vulnerability Ad Hoc Working Group.

Background Information

The Branford WPCF is located at 100 Block Island Road in Branford, CT. The ground elevation at that location is approximately 13'. Sea level rise and coastal vulnerability are matters that will affect the Branford WPCF in coming decades. Physical measures that would increase the climate resilience of the treatment plant must be considered for implementation at the WPCF and within the complete sanitary sewer and pump station system (the Town owns and operates 50 station outside of the plant). The Town of Branford will consider inundation-prevention and mitigation measures for the infrastructure components of the complete system. Determination of the climate vulnerability of the plant and the system under a variety of potential inundation conditions is the initial step in the planning stage of the comprehensive project and the subject of this RFP.

Scope of Services

The selected consultant will meet with the Town and review various facility components that will be evaluated for vulnerabilities through gathered elevation data performed by the selected consultant. Anticipated services and information to be gathered is itemized below, but is not limited to:

1. At the WPCF:
 - a. Elevations at Block Island Road from South Montowese Street to Marina Entrance;
 - b. Set three (3) Benchmarks (NAVD88) around facility;
 - c. Delineate tidal and/or inland wetlands;
 - d. Locate wetland delineation flags;
 - e. Floor elevations of all buildings within the WPCF;
 - f. Top of wall elevations on all tanks & clarifiers;
2. At each pump station:
 - a. Set one (1) Benchmark (NAVD88) at each station;
 - b. Ground elevation at station;
 - c. Wet well elevation;
 - d. Dry well elevation;
 - e. Elevation of lowest mechanical component;
 - f. Generator (Y/N) and it's elevation;

The facility components will be evaluated under the range of conditions included below. The evaluation will be for the entire system, including the WPCF and each facility within the sanitary sewer pumping station network. The information is to be used by the Town for the future development of a WPCF Resiliency Plan.

1. Current
 - a. anticipated semimonthly astronomical high tide with a moderate easterly wind
 - b. anticipated semimonthly astronomical high tide plus a 100-year flood event
 - c. anticipated semimonthly astronomical high tide plus a 500-year flood event
2. 2050
 - a. anticipated semimonthly astronomical high tide with a moderate easterly wind
 - b. anticipated semimonthly astronomical high tide plus a 100-year flood event
 - c. anticipated semimonthly astronomical high tide plus a 500-year flood event
3. 2080
 - a. anticipated semimonthly astronomical high tide with a moderate easterly wind
 - b. anticipated semimonthly astronomical high tide plus a 100-year flood event
 - c. anticipated semimonthly astronomical high tide plus a 500-year flood event

When executing this evaluation, the selected consultant should use the projections of sea level rise and extreme weather events published recently (February 2022) by NOAA - *“Global and Regional Sea Level Rise Scenarios for the United States: Updated Mean Projections and Extreme Water Level Probabilities Along U.S. Coastlines”*.

The selected consultant should also refer to the recommendations made in the Governor’s Council on Climate Change - GC3 Phase 1 Report: Near-Term Actions published in January 2021.

Deliverables

The consultant will provide a written report that documents the potential inundation depth of each system component evaluated under each sea level and storm condition for each of the present and future conditions requested and develop a topographic map with the additional information listed (see attachment B).

The consultant will provide one reproducible copy of the final report and topographic map for approval by the Town of Branford Water Pollution Control Authority.

The actual format and contents of the final work to be performed will be decided and agreed upon by the Town and the consultant prior to the commencement of work. Work progress status telephone calls or virtual meetings between the consultant and the Town to describe work completed and planned activities must be conducted on a bi-weekly basis in order for the full value of the contract to be compensated.

Proposal Contents

The consultant proposal must include:

Detailed proposal letter that responds to each of the categories below, and uses the same numbering references:

1. **Project Understanding:** A statement of the goals that the consultant will help the Town to achieve;
2. **Consultants Similar Experience:** Brief descriptions of directly similar projects, including those completed or underway;
3. **References:** Identification of previous or existing customers of similar tasks that agree to provide reference information, or confidential project descriptions, with outcome described;
4. **Staff Assigned:** Identification of staff, intended role in project, and previous experience with similar projects and roles. Organization chart and resumes shall be sufficient;
5. **List of subcontractors:** Identify any subcontractors that will be utilized for the project;
6. **Scope of Work:** Identification of tasks and deliverables to be completed, including intended method of demonstrating completion of each task;
7. **Preliminary Schedule:** Presentation of the sequence, anticipated duration, and overlap of any of the tasks identified in Item 6, above;
8. **Hourly rates** for designated staff: Hourly rate table for the professional categories that are expected to be billed to the project to be applicable for 12 months after the contract is executed;
9. **Estimated level of effort** for the project: An estimate of the total quantity of professional consulting time anticipated to be committed to the project, expressed in full-time days in each professional category to be used, based on previous experience with similar projects;
10. **Identification of consultant-authorized official:** Indication of the person that will be authorized to negotiate and sign contracts for the consultant as indicated by their signature as the designated official on this proposal.

Evaluation and Award

Selection Criteria

- Demonstrated technical understanding of scope of services solicited by the Town;
- Background and experience with climate resiliency measures applicable to municipal wastewater treatment systems
- Background and experience with climate resiliency measures applicable in Connecticut;
- Background and experience of consulting professional or firm in providing similar services;
- Background and experience in similar services of key personnel to be assigned to contract;
- Projected fees and costs. The Town reserves the right to negotiate fees with selected consultant

Selection Procedure

The Town will award the contract to the consultant or firm whom the Town determines to be best qualified to perform the services required by the contract.

Proposal Submittal

Enclosed are the following preliminary documents:

- Insurance Requirements
- Non-collusion Affidavit
- Layout sheets LA-4, LA-5 and Perimeter Survey (Attachment A)
- GIS Map (Attachment B)
- Matrix of Standalone Pump Stations (Attachment C)

Each interested consultant shall return two (2) hard copies and one (1) digital copy of their proposal and addenda acknowledgment, if applicable. Each proposal must be signed by an authorized agent of the bidder.

Each bidder must complete and have notarized the “Non-Collusion Affidavit of Bidder” form. This form must accompany all bids being submitted.

Each bidder must be in good standing with the Town of Branford.

Proposals should be received no later than 11:00 am on Wednesday, December 21st.

Questions regarding this RFP should be directed to the Town Engineer in writing or by email at jhoefferle@branford-ct.gov.

Town of Branford
c/o Town Engineer
1019 Main St, PO Box 150
Branford, CT 06405

All questions about the meaning or intent of the Documents are to be submitted to the Contact Person in writing. Interpretations or clarifications considered necessary by the Owner in response to such questions will be issued by Addenda, and will be posted on the Town’s website. Prospective bidders are responsible for obtaining addenda, if any, and acknowledging any addenda in their submission.

Questions received less than ten days prior to the date of receipt of RFPs may not be answered. Only questions answered by Addenda will be binding. Oral and other interpretations or clarifications will be without legal effect.

The Owner will set forth as Addenda, which shall become a part of the RFQ, such questions received as above provided as in their sole judgment are appropriate or necessary and their decision regarding each.

The Contractor agrees to use the products and methods designated or described in the specifications as amended by the Addenda.

The Town reserves the right to reject any or all bids or any portion thereof and to accept the bid deemed to be in the best interest of the Town of Branford.

Town of Branford Professional Services – Insurance Requirements

Contractor/Vendor shall agree to always maintain in force during the contract the following minimum coverage and shall name the Town of Branford as an Additional Insured on a primary and non-contributory basis to all policies except Workers Compensation. All policies should also include a Waiver of Subrogation. Insurance shall be written with Carriers approved in the State of Connecticut and with a minimum AM Best's rating of "A-"VIII.

		(Minimum Limits)
General Liability	Each Occurrence	\$1,000,000
	General Aggregate	\$2,000,000
	Products/Completed Operations Aggregate	\$2,000,000
Auto Liability	Combined Single Limit	
	Each Accident	\$1,000,000
Excess/Umbrella Liability	Each Occurrence	\$1,000,000
	Aggregate	\$1,000,000
Professional Liability	Each Occurrence	\$1,000,000
	Aggregate	\$1,000,000
Cyber Liability ⁽¹⁾	Each Occurrence	\$1,000,000
	Aggregate	\$1,000,000
Workers' Compensation and Employers' Liability ⁽²⁾	WC Statutory Limits	
	EL Each Accident	\$500,000
	EL Disease Each Employee	\$500,000
	EL Disease Policy Limit	\$500,000

If any policy is written on a "Claims Made" basis, the policy must be continually renewed for a minimum of two years from the completion date of this contract. If the policy is replaced and/or the retroactive date is changed, then the expiring policy must be endorsed to extend the reporting period for claims for the policy in effect during the contract for two) years from the completion date.

Original, completed Certificates of Insurance must be presented to the Town of Branford prior to contract issuance. Contractor/Vendor agrees to provide replacement/renewal certificates at least 30 days prior to the expiration date of the policies. Should any policy be cancelled for nonpayment of premium, 10 days written notice must be provided to the Town. Should any of the policies be cancelled for other reasons, limits reduced or, coverage altered, 30 days written notice must be given to the Town.

Notes

- (1) Cyber Liability is required if Contractor is on Town's network or houses Town information on their network.
- (2) Workers Compensation is required if employees come onto Town property.

NON-COLLUSION AFFIDAVIT

State of: _____

County of: _____, SS)

_____; being first duly sworn, deposes and says that:

- 1) S/he is (owner, partner, officer, representative or agent) of _____, the Bidder that has submitted the attached Bid:
- 2) S/he is fully informed regarding the preparation and contents of the attached Bid and of all pertinent circumstances regarding such Bid:
- 3) Such Bid is genuine and is not a collusive or sham Bid:
- 4) Neither the said Bidder nor any of its officers, partners, owner, agents, representatives, employees or parties in interest, including this affiant, has in any way colluded, conspired, connived, or agreed, directly or indirectly with any other Bidder, firm or person to submit a collusive or sham Bid in connection with the Contract for which the attached Bid has been submitted or to refrain from bidding in connection with such Contract, or has in any manner, directly or indirectly, sought by agreement or collusion or communication or conference with any other Bidder, firm or person to fix the price or prices in the attached Bid or of any Bidder, or to fix any overhead, profit or cost element of the bid price or the bid price of any other Bidder or to secure through any collusion, conspiracy, connivance or unlawful agreement any advantage with the Owner or any person interested in the proposed Contract.
- 5) The price quoted in the attached Bid is fair and proper and is not tainted by collusion, conspiracy, connivance or unlawful agreement on the part of the Bidder or any of its agents, representatives, owners, employees, or parties in interest.

Signed: _____

Title: _____

Subscribed and sworn before me this _____ day of _____, 20__.

Notary Public: _____

My Commission expires _____, 20__.

ATTACHMENT A

LEGEND	
PROPERTY / STREET LINE	UTILITY POLE
EASEMENT / RIGHT OF WAY LINE	FIRE HYDRANT
STONE WALL	LIGHT POLE
WIRE FENCE	WATER COURSE
WOOD FENCE	WETLANDS
CONCRETE MONUMENT	EXISTING CONTOUR
IRON PIPE	PROPOSED CONTOUR
IRON PIN	EXISTING ELEVATION
STRUCTURE	PROPOSED ELEVATION
LOT NUMBER (TYPICAL)	HATCH
N/F	NOW OR FORMERLY
CATCH BASIN	WATER GATE
	GAS GATE

NOTES:

1. THIS MAP AND SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20. THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. THE HORIZONTAL ACCURACY CONFORMS TO CLASS "A-2", THE BOUNDARY DETERMINATION CATEGORY IS A "PERIMETER SURVEY", AND THE TYPE OF SURVEY IS A "PERIMETER SURVEY & EASEMENT MAP".
2. ALL MONUMENTATION FOUND OR SET ARE DEPICTED ON THIS MAP.
3. THE WORD "CERTIFY" OR "DECLARE" IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE LAND SURVEYOR, WHICH IS BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF. AS SUCH IT CONSTITUTES NEITHER A GUARANTEE OR WARRANTY.
4. THE NORTH ARROW REFERS TO REFERENCE MAP "A".
5. REFERENCE MAP(S):
A) SURVEY FOR BRUCE & JOHNSON MARINA, INC.
BY: BERNARD E. GODFREY
REVISED TO MARCH 2, 1994
B) B.F. & G. CORPORATION
BY: W. CLAUDIUS SMITH
DATED JAN. 1997
6. ALL IMPROVEMENTS NOT SHOWN.
7. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST, ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GODFREY-HOFFMAN ASSOCIATES. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION CALL BEFORE YOU DIG 1-800-922-4455.
8. COORDINATES & BEARINGS REFER TO THE U.S.C. & G. S. DATUM OF 1929.

TO: THE TOWN OF BRANFORD, WIGGIN & DANA &
BRUCE & JOHNSON'S BRANFORD MARINA, INC.
TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP
IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

BERNARD E. GODFREY
ADAM HOFFMAN

L.S.#7387
L.S.#15168

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND SEAL.

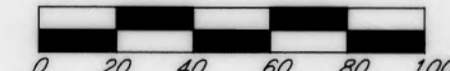


This drawing is an original
ink on mylar and is in
accordance with state filing
regulations.
GODFREY-HOFFMAN ASSOCIATES

THE BRANFORD RIVER

PERIMETER SURVEY &
EASEMENT MAP
PREPARED FOR
THE TOWN OF BRANFORD &
BRUCE & JOHNSON'S
BRANFORD MARINA, INC.
BLOCK ISLAND ROAD
BRANFORD, CONNECTICUT

SCALE: 1"=50' JULY 28, 1999

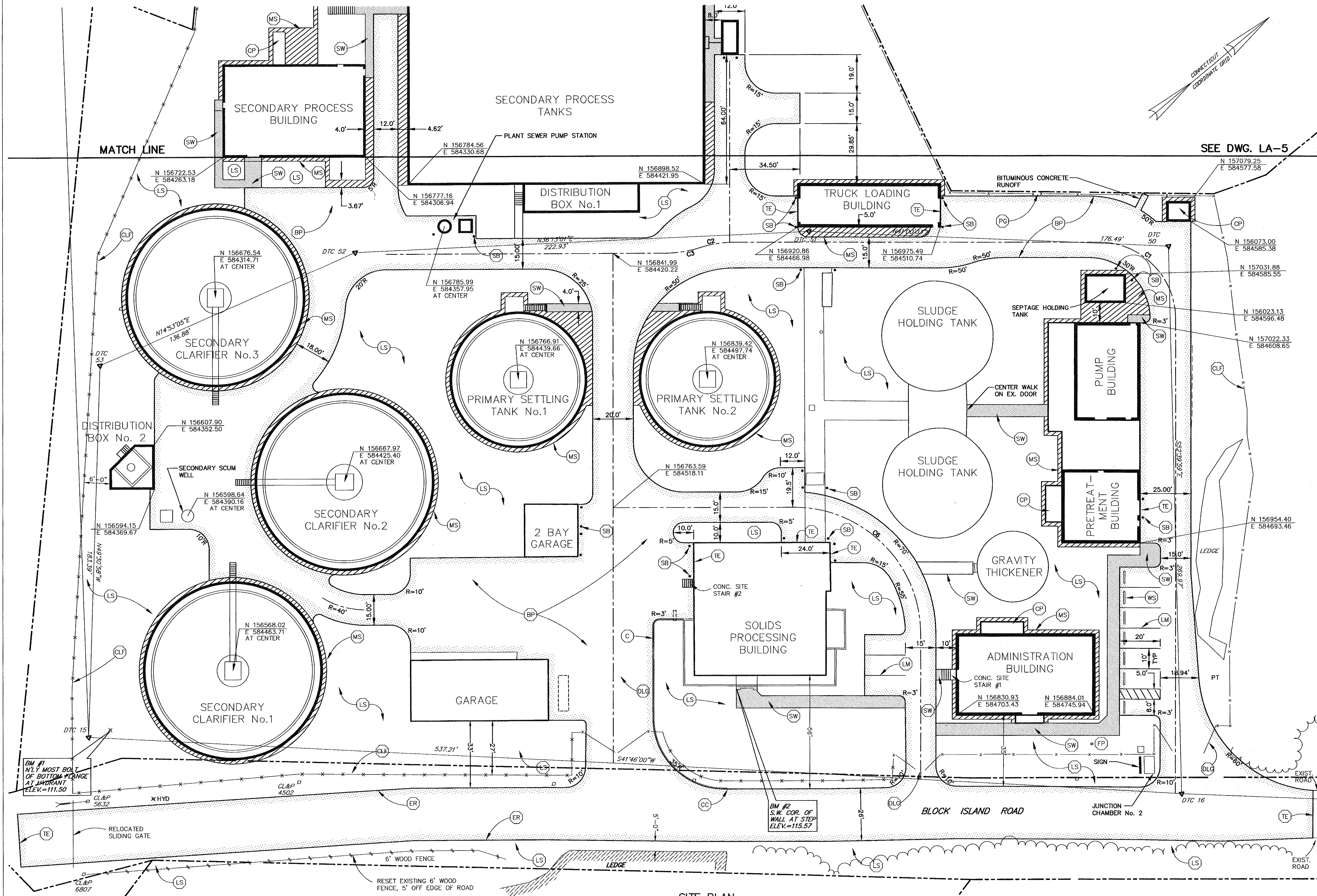


GODFREY-HOFFMAN ASSOCIATES
REGISTERED PROFESSIONAL LAND SURVEYORS
2911 DIXWELL AVENUE - SUITE #301
HAMDEN, CONNECTICUT 06518

REV. AUG. 13, 1999
REV. AUG. 11, 1999
REV. AUG. 10, 1999
REV. AUG. 9, 1999

FILE DATE: AUG. 11, 1991 CAD # 200-16 MAP # L-83

Received for record August 17, 1999 at 3:10 p.m. and recorded by Melinda C. Jester, Asst. Branford Town Clerk



EARTHTECH

805 Winding Brook Drive, Branford, CT 06405-4337 (860) 657-1500

NO.	REVISIONS	BY	DATE

DESIGNED BY
D.G.S.

DRAWN BY
vflume

CHECKED BY
K.A.B.

DATE
FEB. 1999

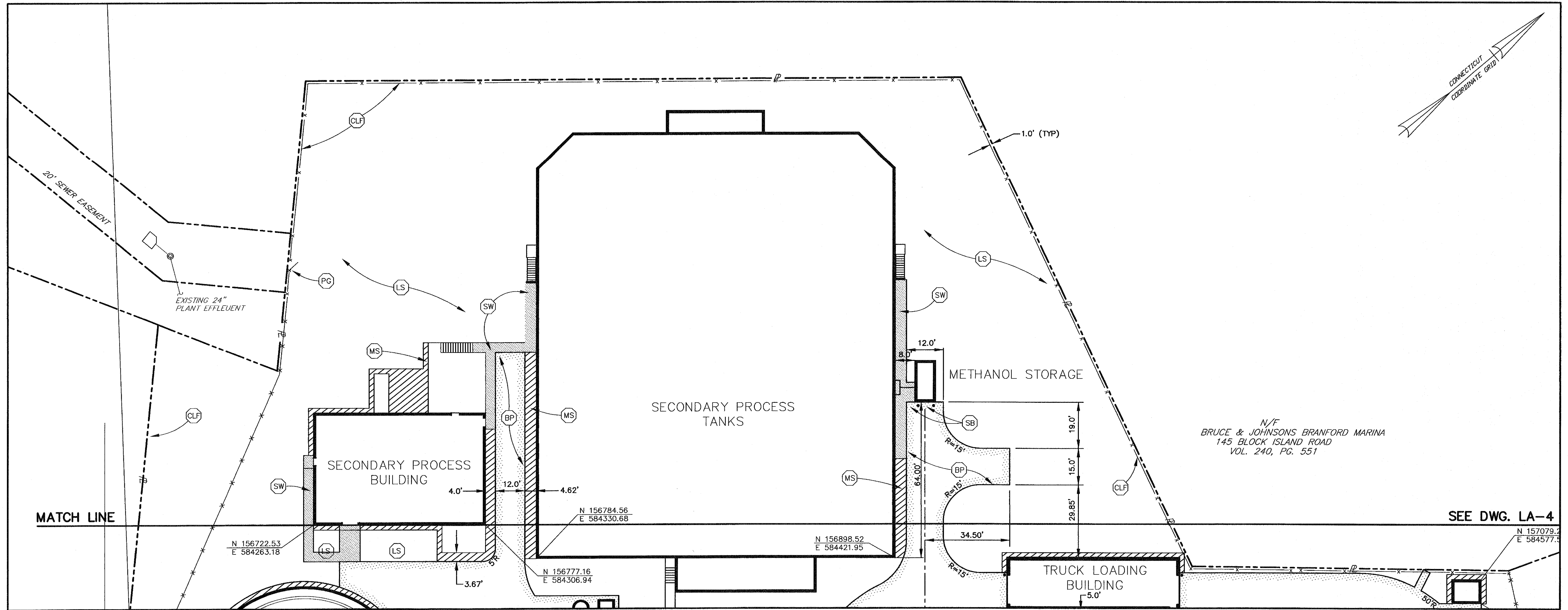
BRANFORD, CT

WASTEWATER TREATMENT FACILITY

LAYOUT & MATERIALS PLAN

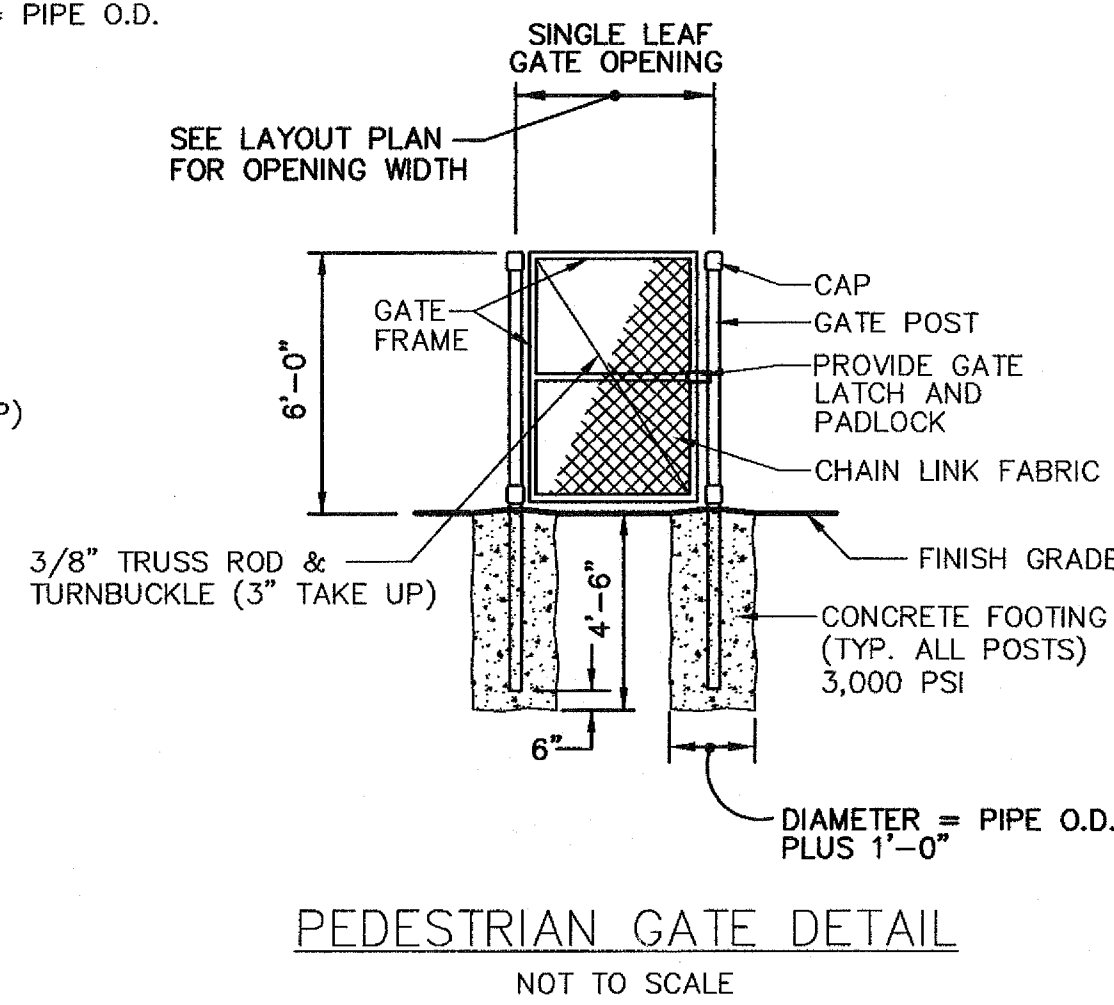
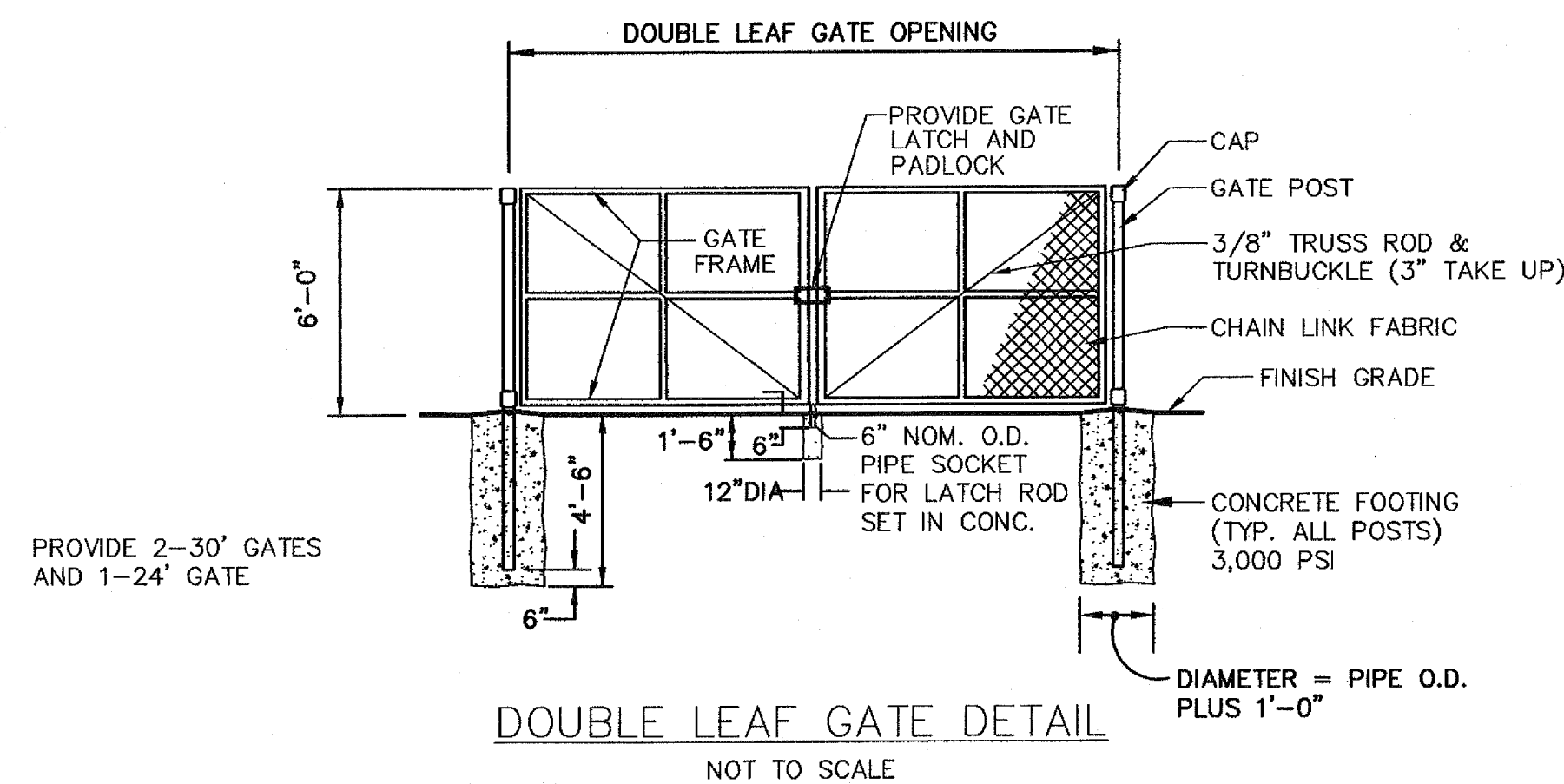
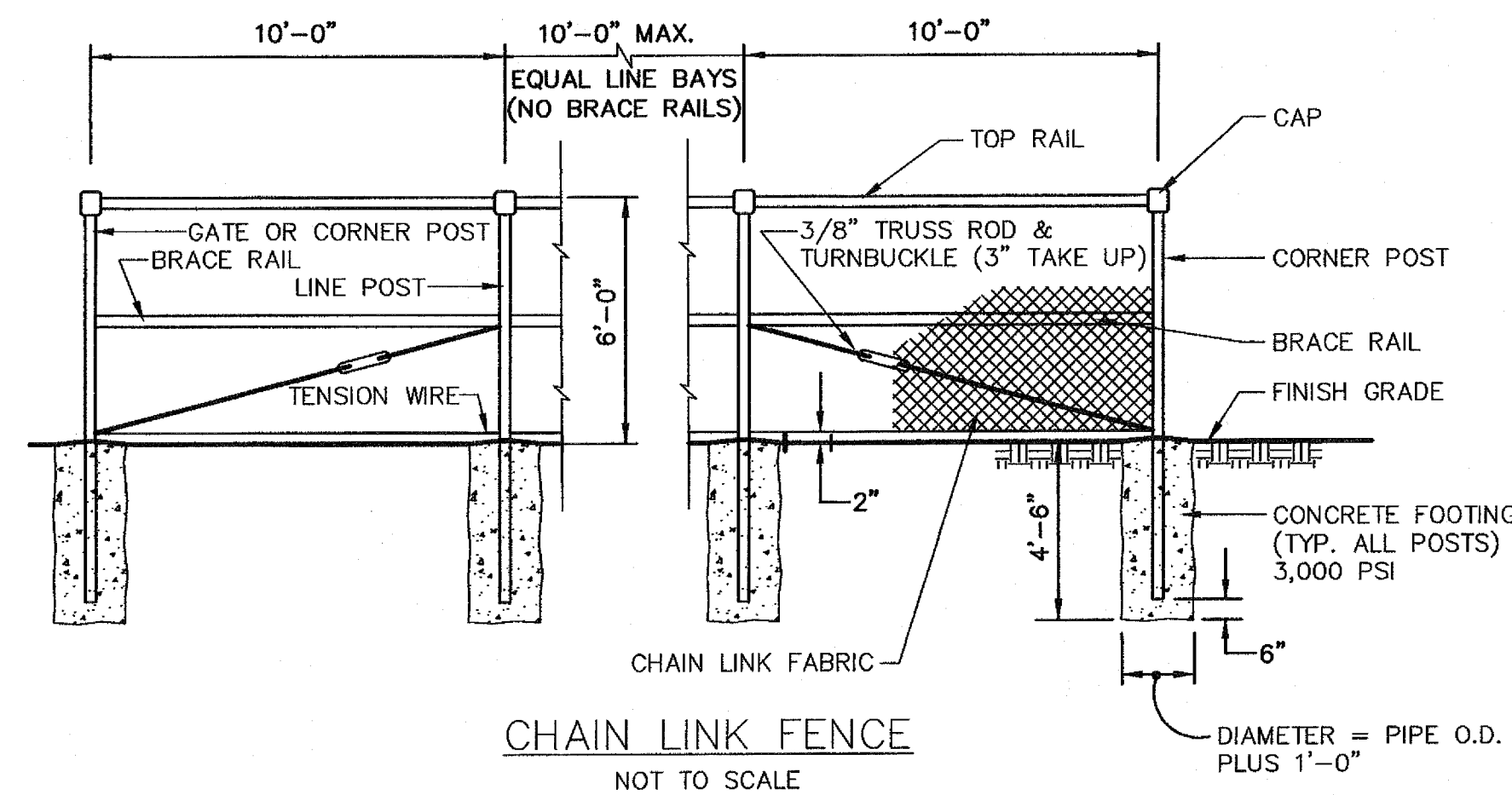
LA-4

SHEET 6 OF 169



MATERIALS LEGEND (FOR DWG. LA-4 AND LA-5)

(BP)	BITUMINOUS CONCRETE PAVEMENT
(TE)	BITUMINOUS CONCRETE THICKENED EDGE
(LM)	PAVEMENT LINE MARKING
(C)	CONCRETE CURB
(CC)	CONCRETE CURB CORNER
(WS)	CONCRETE WHEEL STOP
(SB)	STEEL BOLLARD
(CLF)	CHAIN LINK FENCE
(DLG)	DOUBLE LEAF GATE
(PG)	PEDESTRIAN GATE (4' OPENING)
(SW)	CONCRETE SIDEWALK (5' UNLESS NOTED OTHERWISE)
(MS)	MAINTENANCE STRIP
(FP)	FLAG POLE
(LS)	LOAM AND SEED
(CP)	CONCRETE PAD
(ER)	EDGE OF ROAD



NO.	DATE	BY	REVISIONS



BRANFORD, CT **WASTEWATER TREATMENT FACILITY** LAYOUT & MATERIALS PLAN

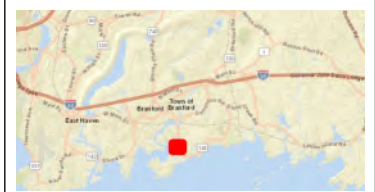
DESIGNED BY D.G.S.	DWG SCALE AS NOTED
DRAWN BY vflume	CONTRACT NO. X
CHECKED BY K.A.B.	DATE FEB. 1999

ATTACHMENT B



Legend

Location



Notes

400 0 200 400
Feet
1: 2,400



This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information.

ATTACHMENT C

TOWN OF BRANFORD PUMP STATIONS - BASE FLOOD AND STATION ELEVATIONS NOVEMBER, 2015			
STATION	ADDRESS	BASE FLOOD ELEVATION (NAVD 88)	APPROX. ELEV. OF STATION (NAVD 88)
BECKETT	26 Beckett Avenue	AE 11	7.25
BIRCH	26 Birch Rd	N/A	N/A
BLOCKS	0-24 Riverview Crossing	AE 9	6.00
BRADLEY	50 Bradley Avenue	AE 9	8.25
BRANFORD POINT	15/16 Harbor St	AE 12	10.00
BURBAN	65 Burban Drive	N/A	N/A
CEDAR	171 Cedar Street	N/A	N/A
CENTRAL	86 Meadow Street	AE 12	5.25
CHESTNUT	124 Chestnut Street	N/A	N/A
CLARK	184R Clark Avenue	AE 11	8.25
DAMASCUS	6-18 Damascus Road	AE 9	10.50
DOMINICAN	27 Dominican Rd	AE 9	16.00
FARM RIVER	45-55 Alex Warfield Road	AE 11	10.00
FRANK	Quarry Dock Road	AE 12	8.75
GREENFIELD	54 Greenfield Avenue	N/A	N/A
HARBOR	160 Harbor Street	AE 12	8.00
HEMLOCK	101-182 Opening Hill Rd	N/A	N/A
HOSLEY	250 West Main Street	N/A	N/A
HOTCHKISS	23 Seaview/4th Ave	AE 12	8.00
HUNTING RIDGE	31 Hunting Ridge Drive	N/A	N/A
JOHNSONS POINT	82 Johnson Point Rd	AE 12	5.75
LANPHIER SEASON	33 Lanphier Cove Camp Rd	VE 15	11.00
LANPHIER'S COVE	71 Lanphier Cove Camp Rd	N/A	N/A
LINDEN SHORES	26 Linden Shores	N/A	N/A
LITTLE BAY	Little Bay Lane	VE 14	7.50
LUDLOW	8 Ludlow Court	N/A	N/A
MALTBY	46 Maltby Street	AE 11	6.50
MAPLE	39 Short Beach Road	N/A	N/A
MILO	57 Milo Drive	N/A	N/A
PAGES	345 Shore Dive	AE 11	8.00
PAWSON	35-113 Pawson Road	N/A	N/A
PINE ORCHARD	294 Pine Orchard Road	AE 10	6.50
PONDS	101 Hotchkiss Grove Rd	N/A	N/A
RAMONA	7 Ramona Way	N/A	N/A
RED ROCK	83 Laurel Hill Road	N/A	N/A
RICE TERRACE	21 Rice Terrace	N/A	N/A
RIVERSIDE	26A Riverside Drive	AE 9	6.75
RIVER RD	2 Pawson Road	AE 12	7.00
ROUTE 139	2 North Branford Road	AE 18	17.00
SHOPPING CENTER	329 East Main Street	N/A	N/A
SOUTH MONTOWESE	46 South Montowese Street	AE 12	10.75
SQUIRE HILL	32 Richill Road	N/A	N/A
SUMMER ISLAND	Summer Island Road	AE 11.5	9.00
SUNRISE COVE	64 Lanphier's Cove Camp	N/A	N/A
SUPPLY POND	141 Chestnut Street	N/A	N/A
SYBIL	South Montowese Street	AE 12	7.50
SYCAMORE	5 Pin Oak Drive	N/A	N/A
TIDELANDS	14-18 Pine Orchard Road	AE 9	8.75
VICTOR HILL	18 Victor Hill Drive	N/A	N/A
WATCH HILL	1-60 Jerimoth Dr	N/A	N/A
WASTE WATER PLANT	75 Block Island Road	AE 12	12.00