

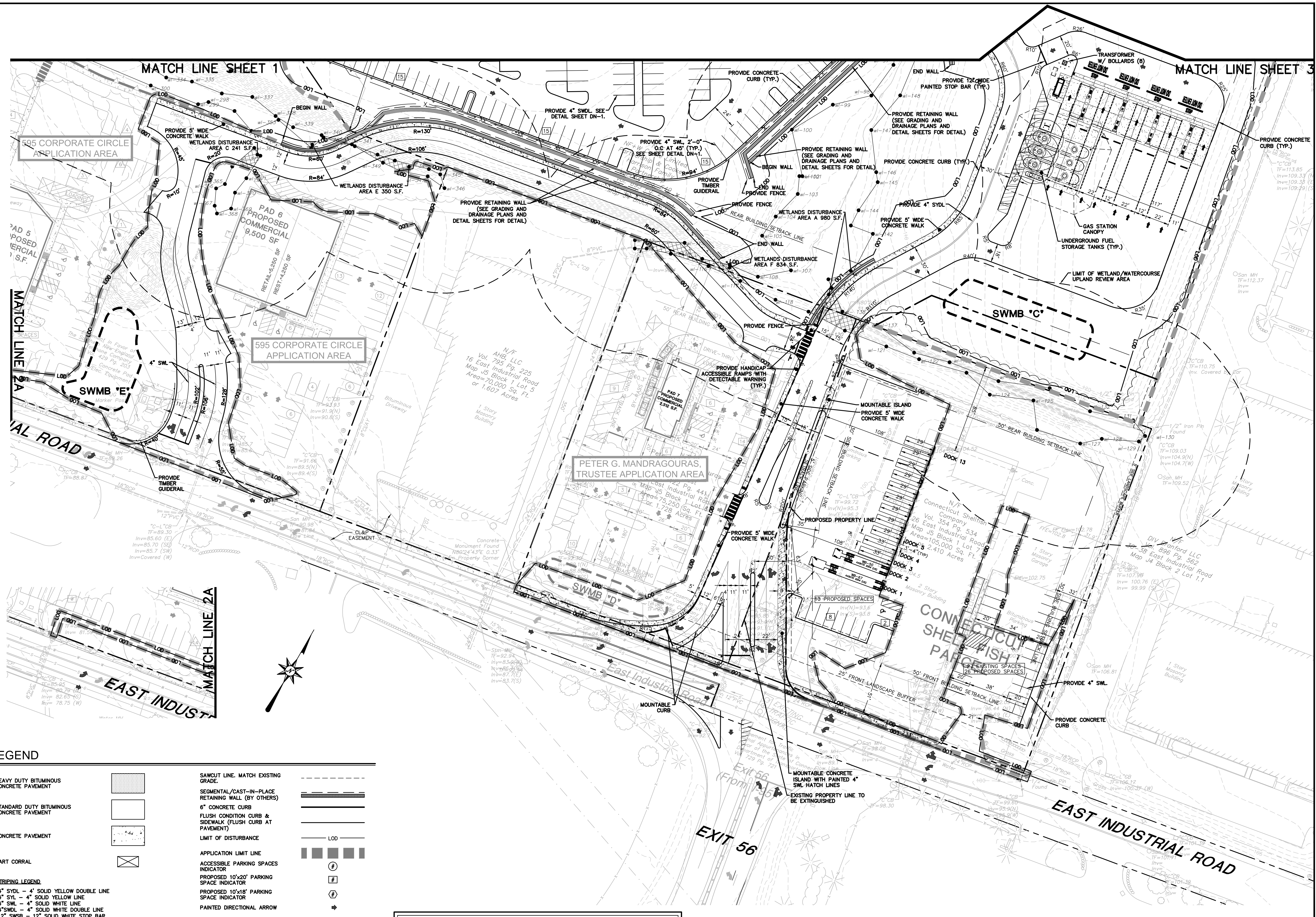


PROPOSED COSTCO WHOLESALE DISCOUNT CLUB
 573 EAST MAIN STREET
 BRANFORD, CT

NOT FOR CONSTRUCTION- FOR PERMITTING PURPOSES ONLY

No.	Date	REVISIONS	Desc.

Designed	M.M.C.
Drawn	M.A.A.
Checked	
Approved	
Scale	1"=40'
Project No.	11C3707
Date	09/04/2015
CAD File:	SP11C370701
Title	SITE PLAN
Sheet No.	SP-2



LEGEND

HEAVY DUTY BITUMINOUS CONCRETE PAVEMENT		SAWCUT LINE, MATCH EXISTING GRADE	
STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT		SEGMENTAL/CAST-IN-PLACE RETAINING WALL (BY OTHERS)	
CONCRETE PAVEMENT		6" CONCRETE CURB	
CART CORRAL		FLUSH CURB CONDITION CURB & SIDEWALK (FLUSH CURB AT PAVEMENT)	
STRIPING LEGEND		LIMIT OF DISTURBANCE	
4" SYDL - 4" SOLID YELLOW DOUBLE LINE		APPLICATION LIMIT LINE	
4" SYL - 4" SOLID YELLOW LINE		ACCESSIBLE PARKING SPACES INDICATOR	
4" SWL - 4" SOLID WHITE LINE		PROPOSED 10'x20' PARKING SPACE INDICATOR	
4" SWDL - 4" SOLID WHITE DOUBLE LINE		PROPOSED 10'x18' PARKING SPACE INDICATOR	
12" SWSB - 12" SOLID WHITE STOP BAR		PAINTED DIRECTIONAL ARROW	
4" BWL - 4" BROKEN WHITE LINE 10' STRIPE 30' SPACE		DIRECTIONAL ARROWS FOR PERMITTING ONLY (NOT TO BE PAINTED)	
TYPICAL CONCRETE CURBED LANDSCAPE ISLAND UNLESS OTHERWISE NOTED		PAINTED STOP BAR	
RADIUS			

PARKING STALL STRIPING AS SHOWN ON PLAN NOT TO BE CONSTRUCTED. PARKING STALL STRIPING TO BE PAINTED AS SHOWN ON DETAIL SHEET DN-1

SEE SHEET SP-3 FOR SITE PLAN NOTES

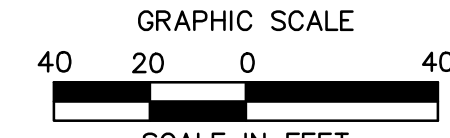
GRAPHIC SCALE
 40 20 0 40
 SCALE IN FEET

SITE PLAN NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH PROJECT SPECIFICATION MANUAL; COSTCO WHOLESALE CORPORATION STANDARDS, TOWN OF BRANFORD, STANDARDS CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS IN THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
2. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL TOWN CONSTRUCTION PERMITS, INCLUDING CONNECTICUT DOT PERMITS AND SEWER AND WATER CONNECTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. REFER TO PLANS BY ARCHITECT, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO BIDDING.
4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND CIVIL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
5. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE EROSION CONTROL PLAN.
6. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, GAS BAR, AND THE RAISED CONCRETE SIDEWALKS AND RAMPS.
7. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
8. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
9. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
10. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS.
11. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
12. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
13. THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
14. THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
15. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAVEMENT MARKING PAINT MIXTURE PRIOR TO STRIPING.
16. PAVEMENT MARKING KEY:
 - 4" SYDL 4" SOLID YELLOW DOUBLE LINE
 - 4" SYL 4" SOLID YELLOW LINE
 - 4" SWL 4" SOLID WHITE LINE
 - 12" SWSB 12" SOLID WHITE STOP BAR
 - 4" BWL 4" BROKEN WHITE LINE 10' STRIPE 30'SPACE
 - 4" SWDL 4" SOLID WHITE DOUBLE LINE
17. PARKING SPACES SHALL BE STRIPED WITH 4" SWL; HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2' ON CENTER. HATCHING, SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED YELLOW. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
18. THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER.
19. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
20. THE ARCHITECT AND ENGINEER ARE NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
21. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
22. EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON DRAWINGS TITLED:
 - 1.) PROPERTY/TOPOGRAPHIC SURVEY: NF+W COOKE LIMITED PARTNERSHIP & COOKE/HARRISON FAMILY PARTNERSHIP, 573 EAST MAIN STREET, BRANFORD, CONNECTICUT SCALE 1"=40', DATED 7/31/2015 BY BL COMPANIES INC.
 - 2.) PROPERTY/TOPOGRAPHIC SURVEY: LAND OF 595 CORPORATE CIRCLE, 569 EAST MAIN STREET, BRANFORD, CONNECTICUT SCALE 1"=40', DATED 7/31/2015 BY BL COMPANIES INC.
 - 3.) PROPERTY/TOPOGRAPHIC SURVEY: LAND OF PETER G. MANDRAGOURAS, TRUSTEE OF THE CVP TRUST, 20 EAST INDUSTRIAL ROAD, BRANFORD, CONNECTICUT SCALE 1"=40', DATED 7/31/2015 BY BL COMPANIES INC.
23. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
24. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "800-922-4455" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
25. PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH CONNECTICUT DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
26. CT DOT ENCRoACHMENT PERMIT SHALL BE OBTAINED BY CONTRACTOR WHO SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC PROTECTION NECESSARY FOR THE WORK. THE OWNER SHALL POST CONDOT ENCRoACHMENT PERMIT BOND.
27. AN EROSION CONTROL BOND MAY BE REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE. THE AMOUNT OF THE EROSION CONTROL BOND TO BE DETERMINED BY THE TOWN OF BRANFORD.
28. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION.
29. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
30. THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER
31. NO PART OF THE PROJECT PARCEL IS LOCATED WITHIN ANY FEMA DESIGNATED FLOOD HAZARD AREAS.
32. THERE ARE WETLANDS LOCATED ON THE SITE AS INDICATED BY ENVIRONMENTAL PLANNING SERVICES MAPPING.
33. 12" SWSB (STOP BAR) AND 4" SYDL AND SWL PAVEMENT MARKINGS LOCATED IN DRIVEWAYS AND IN STATE HIGHWAY SHALL BE EPOXY RESIN TYPE ACCORDING TO CONDOT SPECIFICATIONS.
37. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DISTRICT FIRE MARSHAL.
38. THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN THE STATE HIGHWAY BY METHOD APPROVED BY CONNECTICUT DOT.



SEE SHEET SP-2 FOR SITE PLAN LEGEND



9/4/2015, EPERDES, G_V088111C370701.DWG, SP-3 24x36 405C.

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(203) 630-2615 Fax



PROPOSED COSTCO WHOLESALE DISCOUNT CLUB
573 EAST MAIN STREET
BRANFORD, CT

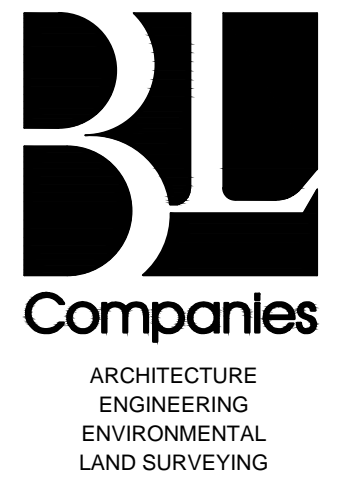
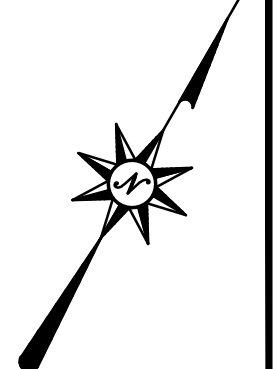
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No.	Date	Desc.

Designed	M.M.C.
Drawn	M.A.A.
Checked	
Approved	
Scale	1"=40'
Project No.	11C3707
Date	09/04/2015
CAD File:	SP11C370701
Title	SITE PLAN
Sheet No.	SP-3

SP-3

SEE SHEET WM-4 FOR
WETLAND MITIGATION NOTES

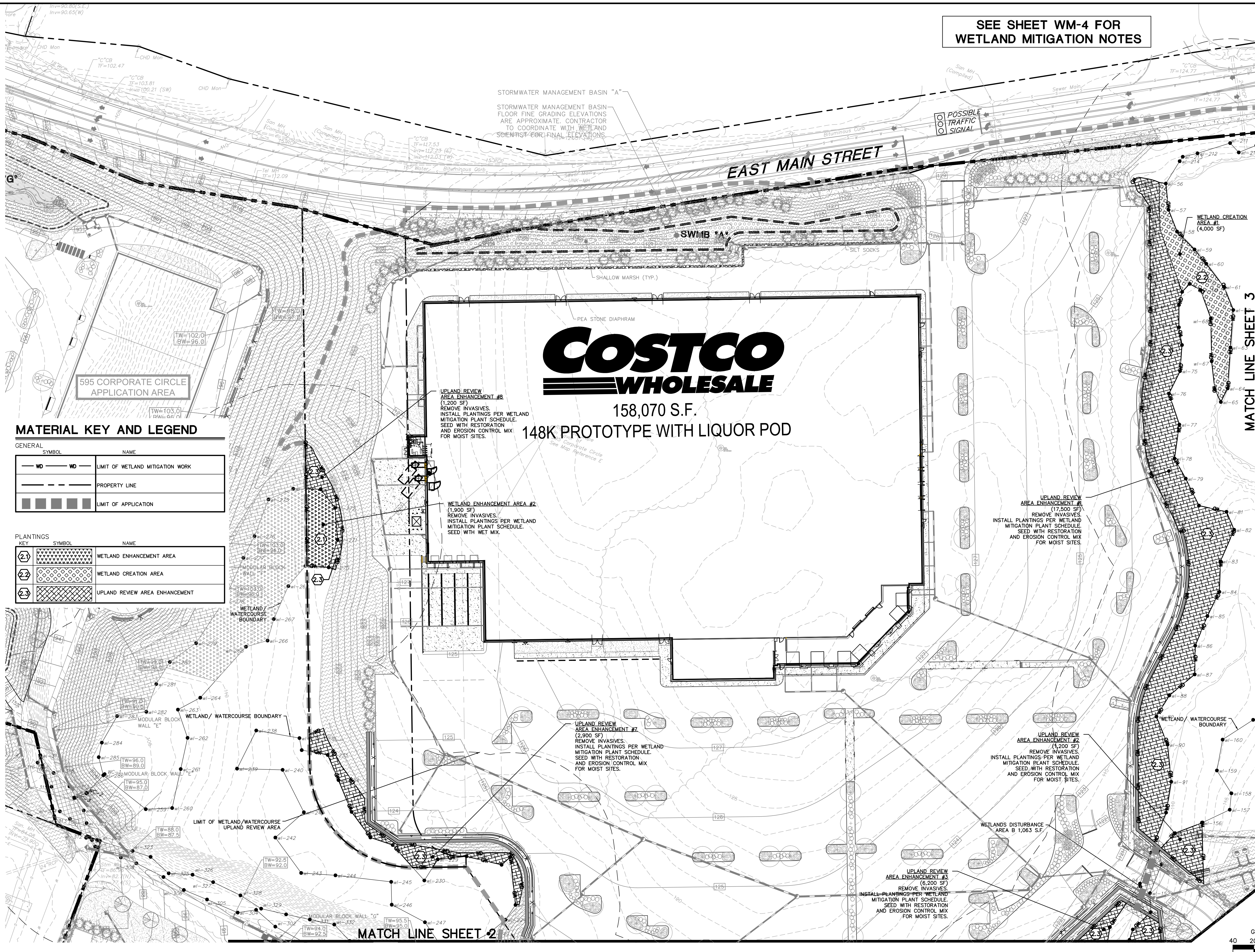


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ENVIRONMENTAL
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PROPOSED COSTCO WHOLESALE DISCOUNT CLUB
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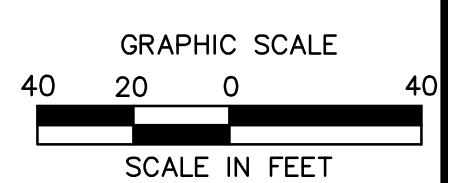
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MATERIAL KEY AND LEGEND

GENERAL	SYMBOL	NAME
WD	---	LIMIT OF WETLAND MITIGATION WORK
---	---	PROPERTY LINE
	■ ■ ■ ■ ■	LIMIT OF APPLICATION

PLANTINGS	KEY	SYMBOL	NAME
	(2.1)	[Pattern]	WETLAND ENHANCEMENT AREA
	(2.2)	[Pattern]	WETLAND CREATION AREA
	(2.3)	[Pattern]	UPLAND REVIEW AREA ENHANCEMENT



9/4/2015, EPERDRES, G_V08B11/C037070/DWG/M11C37070.DWG, 24X36, 40SC.

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REGIONS
No. Date
Desig. Date
Designed W.E.V.
Drawn W.E.V.
Checked
Approved
Scale 1"=40'
Project No. 11C3707
Date 09/04/2015
CAD File: WM11C370701

Title
**WETLAND
MITIGATION
PLAN**

Sheet No.
WM-1

